

Appendix 2 (Part 1) — Technical Review Submission Form

For completion by the RSL or LA. Applicable to all new schemes (including Off the Shelf). For Existing Dwellings, Empty Properties, Mortgage Rescue and Buy Backs, Appendix 2 (Part 1) (Light) should be used.

Follow the Explanatory Guidance (Appendix 3) and refer to Appendix 4 (for supporting documentation) before completing the submission. Refer to the Social Housing Grant guidance at:

<https://gov.wales/social-housing-grant-guidance-registered-social-landlords-and-local-authorities>

Confirmation	We have read the above procedural guidance	Yes
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Scheme Details

Applicable Stage	Concept	✓
	Pre Planning	
	Confirm that Concept stage feedback addressed at Pre Planning stage where applicable	
	Post Completion	
Applicant Name	[Redacted], Wales & West Housing Association,	
Scheme Name	New Mill Road, Ceredigion	
PDP Reference Number	CER/23/7239	
Scheme Address	New Mill Road	
	Cardigan	
Postcode	SA43 1NE	
DOCO Reference	Enter details of Secured by Design Gold application date or reference number	858/005/2023
PDP Status	Main	✓
	Reserve	
	Potential	
	Other	
Tender Type	Long Term contractor procured through Competitive tender	
Procurement Route	Collaborative Design & Build	
Other Funding Requirements in addition to SHG	SHG	
Anticipated Scheme handover date	02/06/2027	

Documents to be submitted at Concept and Pre Planning Stages

Documents Provided	Scale (Minimum)	File name (enter drawing name, drawing number and revision suffix)
Project Design Brief		NMR Design Brief May 23
Site location plan	1:1000	2316 - LP-01_Location Plan_A3_- _INF_
Topography	1:500	2316-SEC-01_Site Section_A2_- _INF
Existing site plan	1:500	
Existing building plans	1:100	N/A
Existing building elevations	1:100	N/A
SWOT	1:500	2316_New Mill Road_DAS_01_Issue: Pages 19-20
Proposed site plan	1:500	2316-PL-01_Site Planning Layout_A1_C_INF_.pdf Spot height drawings: C2014-C-SK04 Proposed Site Layout RevK
Landscape plan	1:500	RD-230829-01-002-Landscape Masterplan RDS-230918-02-002-Proposed Housing Development- Dol Y Dintir, Cardigan - Landscape Planting Plan
Site sections	1:500	2316-SEC-01_Site Section_A2_- _INF_
Home layout plans	1:50	2316 - HF-01_House Finishes Layout_A1_- _INF_ 2316 - PL-01_Site Planning Layout_A1_- _INF_ 2316-1B2PB-WDQR-TP1-01_2P-1B Bungalow_Plans and Elevations_A2_- _INF_ 2316-1B2PF-WDQR-01_1B-2P Walkup Flat_A2_- _INF_ 2316-2B4P-WCB-01_4P-2B Wheelchair Bungalow_A2_- _INF_ 2316-2B4P-WDQR-01_4P-2B House SEMI_A2_- _INF_ 2316-3B5P-WDQR-01_3B-5P SEMI_A1_- _INF_ 2316-4B6P-WDQR-01_4B-6P_A2_- _INF_ 2316-4B6P-WDQR-03_4B-6P SEMI_A1_- _INF_
Elevations proposed	1:100	See above
Building sections		
Street Scene	NTS	2316-SS-01_Street Scenes_A0_A_INF_
Photography		
Context analysis		2316_New Mill Road_DAS_01_Issue

Visual (e.g. 3D)	NTS	2316 - MAP-01_3D Render Image Map_A1_- _INF_
Other <i>Specify as necessary</i>		2316-AL-01_Unit Type Accommodation Layout_A1_A_INF_ 2316-SH-01_Storey Heightd Layout_A1_- INF_

This form has been completed by:

Name/contact details	[Redacted]
Role within RSL or LA	[Redacted]
Date	29/08/2024

Contact Details for Consultants (complete for each stage)

Concept

Name	Organisation	Telephone	email
Design Consultant	Hammond Architectural Ltd	[Redacted]	[Redacted]
Planning Consultant	Avison Young	[Redacted]	[Redacted]
Cost Consultant	Ivor Russell Partnership IRP	[Redacted]	[Redacted]
Civil & Structural Engineer	CB3 Consult	[Redacted]	[Redacted]
Highways	Acstro	[Redacted]	[Redacted]
Ecological Consultant	I&G Ecological Consulting Ltd	[Redacted]	[Redacted]
Landscape Architect	EDP	[Redacted]	[Redacted]

Pre Planning

Name	Organisation	Telephone	email
Design Consultant			
Cost Consultant			
Other Consultants			
Other Consultants			

Scheme Data (complete for each stage)

Concept

Persons	Bedrooms	Type	Need	Tenure	Work Type	No of Homes	GIA	Total GIA
<i>Only use acronyms as shown in guidance Appendix 3</i> <i>Gross Internal (floor) Areas (GIA's) must match architect's design data</i> <i>Please check arithmetic before submission</i>								
2	1	F (FF)	GN	SR	NB	3	51m ²	153m ²
2	1	F (GF)	GN	SR	NB	3	55 m ²	165 m ²
4	2	H	GN	SR	NB	20	83m ²	1,660m ²
5	3	H	GN	SR	NB	10	95m ²	950m ²
6	4	H	GN	SR	NB	4	110m ²	440m ²
2	1	B	GN	SR	NB	10	50m ²	500m ²
4	2	B	GN	SR	NB	1	96m ²	96m ²
					Total	51	Total	3,964m ²

Pre Planning

Persons	Bedrooms	Type	Need	Tenure	Work Type	No of Homes	GIA	Total GIA
<i>Only use acronyms as shown in guidance Appendix 3</i> <i>Gross Internal (floor) Areas (GIA's) must match architect's design data</i> <i>Please check arithmetic before submission</i>								
					Total		Total	

Cost Data (complete for each stage £)

Please check arithmetic before submission

	Concept £	Pre Planning £
Works Cost	[Redacted]	
Acquisition Cost	[Redacted]	
Works Cost/m ²	[Redacted]	
Abnormals Costs	[Redacted]	
Works Cost less abnormals	[Redacted]	
Cost/m ² less abnormals	[Redacted]	
Indicative SCI (Fixed grant percentage)	[Redacted]	
Indicative WCI (SVM)	[Redacted]	

List of Abnormals (costed) Please check arithmetic before submission

Concept		Pre Planning	
Item	£	Item	£
9 Segmental Tobermore Block Retaining Walls; 436 linear meters	[Redacted]		

Concept Submission

Project Introduction:

Cardigan is a bustling and thriving market town, and as it has grown, so too has the need for more local housing. The town has much to offer by way of primary and secondary schools, a leisure centre and swimming pool, doctors surgery, hospital, traditional and new shops and much more.

This new development aims to provide 51 high quality, visually pleasing and well-designed EPC-A rated homes. The property mix consisting of 6x 1-bed flats, 10x 1-bed bungalows, 1x 2-bed purpose built bungalow, 20x 2-bed homes, 10x 3-bed homes and 4x 4-bed homes is sympathetic to the current housing requirements within Cardigan, as shown in the table below.

Demand

The table below shows the current housing demand figures for Cardigan and immediate surrounding area. These figures have been derived from the Ceredigion County Council Housing Register. They include details of the areas surrounding Cardigan, the band at which the respective applicant sit's, in addition to this it displays the requirement numbers for the different size homes.

Location	Bands	Bedrooms				
		1	2	3	4	+
Cardigan	A	40	16	10	6	0
	B	23	6	2	2	0
	C	37	9	8	6	2
	Total	100	31	20	14	2
Aberporth	A	11	6	7	2	0
	B	9	3	2	0	1
	C	10	4	3	2	1
	Total	30	13	12	4	2
Parcllyn	A	0	2	3	1	0
	B	3	0	0	0	1
	C	3	2	2	1	1
	Total	6	4	5	2	2
Llechryd	A	11	9	6	2	0

	B	8	3	2	2	0
	C	11	5	4	4	0
	Total	30	17	12	8	0
Blaenannerch & Blaenporth	A	3	3	0	0	0
	B	0	0	2	0	1
	C	1	2	3	1	0
	Total	4	5	5	1	1
		340	140	108	58	14

Table 1: Housing demand figures for Cardigan and surrounding areas

Amenities

The site is perfectly positioned little more than a mile from edge of the town centre. Its setting lends itself to being an ideal family home location, providing transport links to Cardigan and surrounding areas and within easy walking distance to the town centre itself. The proximity to Tesco and B&M is a mere 400 meters, where a bus stop to both sides of the road make the town and surrounding areas easily accessible. The bus travels to the new hospital site as well as the local Dr surgery, including Aldi and across from the playing field and bowling lawn. A Transport Statement has been provided which offers examples of proximity to some important amenities, as seen below.

Amenity	Walk Distance / Time
B&M Store / Garden Centre	190m / 2Minutes
Bus Stop (Aberystwyth Road)	260m / 3 Minutes
Tesco Store	400m / 5 Minutes
Aldi Store	650m / 7 Minutes
Cardigan RFC / Gwbert Road Playing Field / Playground	1000m / 11 Minutes
Ysgol Uwchradd Aberteifi (Secondary School)	1100m / 12 Minutes
Ysgol Gynradd Aberteifi (Primary School)	1300m / 15 Minutes
Cardigan Town Centre	1400m / 16 Minutes

Table 2: Local ammenities distance

The range of amenities listed in the table above are all within less than 20 minutes' walk of the site.

With so many amenities on the doorstep, the development encourages a sustainable way of living by encouraging walking and cycling, promoting The Active Travel (Wales) Act 2013. This is in addition to the sustainable homes provided.

There is limited footway provision along New Mill Road carriageway however, following advice from the Highways Authority in the pre-app, WWHA will be constructing a footpath following which will make a safe walkway for residents to use.

The plan below indicates the specified land in red, and its immediate surrounding areas:



Fig 1. Satellite image of boundary of site plot

Secure by Design

In addition, an application to SBD will ensure the site creates a safe environment supporting well-being and happiness for all. The scheme has been registered with the Cardigan DOCO for SBD Homes 2023 where we have applied to achieve compliance for the Gold award under reference 858/005/2023.

Community

The inclusion of a LAP and green space encourages children to play and supports communal interaction, creating a sense of belonging and community.

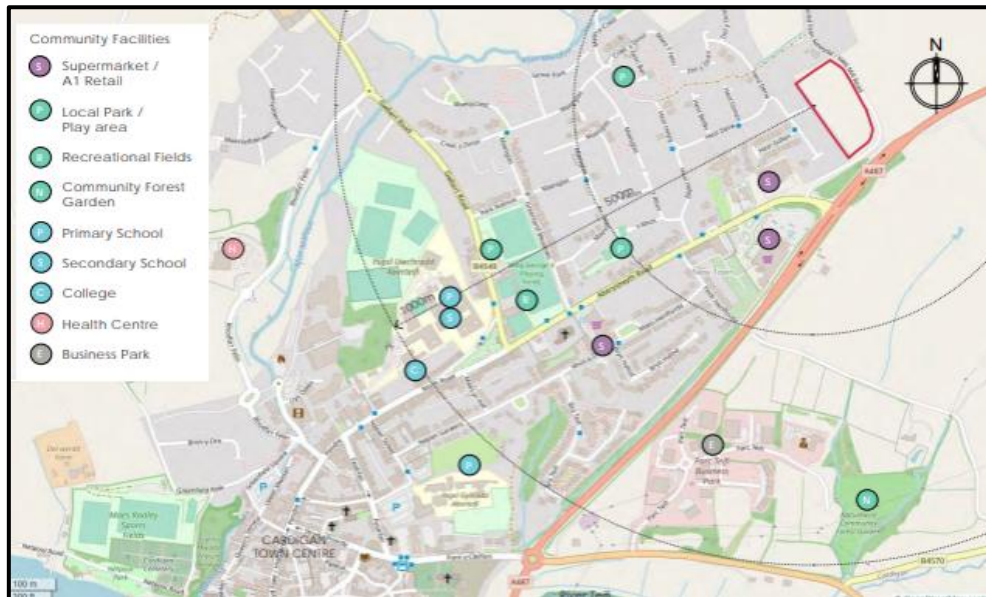


Fig 2. Location of community amenities relative to the proposed development site

By creating a community development encouraging positive bonds between residents and a feeling of safety, the development will have a strong sense of place and identity



Fig 3. Scheme links to surrounding sustainable environment

Scheme Layout/Design

Wales and West have worked with the appointed architects, Hammonds to design a scheme which meets our needs as a client and is considered to be acceptable to the Local Authority Housing and Planning teams. As shown in the following CGI's:

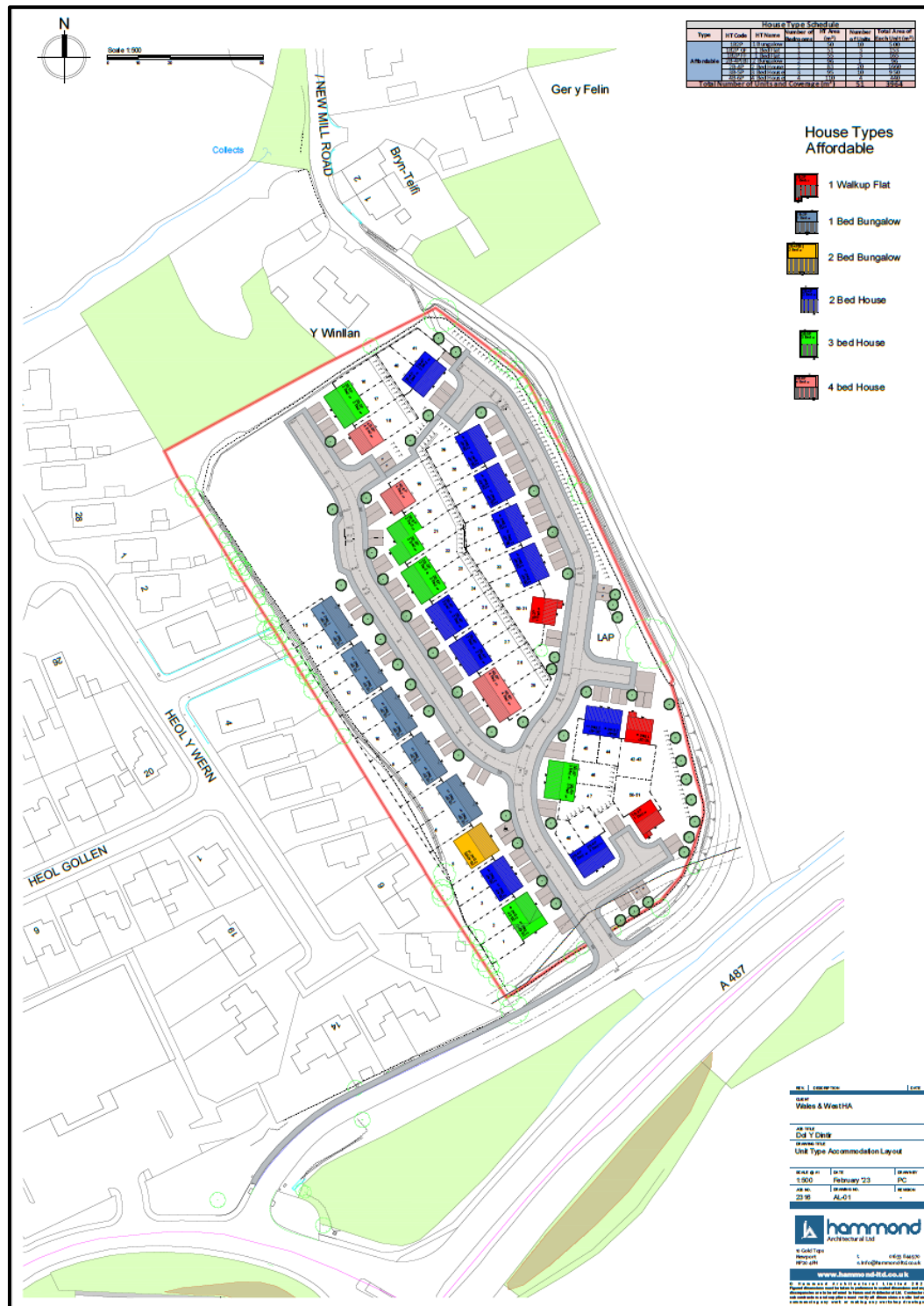


Fig 4. Scheme layout with designated house types



Fig 5. CGI 3D Render Image:A



Fig 6. CGI 3D Render Image:B



Fig 7. CGI 3D Render Image:C

Design concept and context analysis:

The field has been used for agricultural purposes, and its elevated South-Easterly position is a prime location for solar gain.

A Geotechnical (surface and ground penetrating investigations) and Geoenvironmental (including water resource engineering, wastewater treatment, waste handling and storage, pollution control) Report carried out by Terraforma to assess the suitability of the location for development, and the report confirmed ground conditions are good.

During its design, allowances have been made for the storm water drainage. As you can see below, the SuD's for this site lays across the North-Western corner, being at the sites lowest point.



Fig 8. Northeast Attenuation Pond

Topography

As stated, the site's topography shows the Easterly high point of ~55m, gradually falling Westerly to ~42.5m. In consideration of this, the bungalows designed will be adjacent to the Western boundary so as not to impose on the existing homes at Heol Y Wern. A visual impact report will be carried out to better understand how the site will be viewed from varying positions.

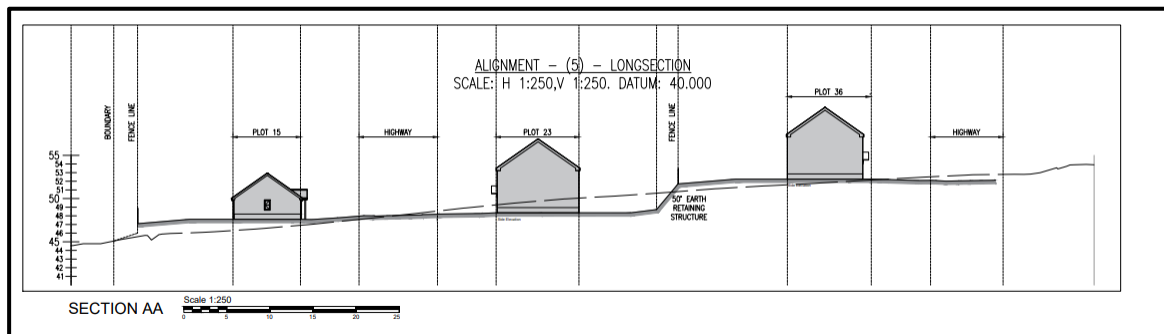


Fig 9. Section A-A Finished Topography of the land

A feasibility study has been undertaken to calculate the size, height and length of 9 reinforced walls that will be required to secure levelled areas for construction within the scheme plot

We have included concept sections indicative of the retained heights of 1.0m to 3.2m for the Tobermore Secura Grand retaining wall.

Main Wall Breakdown:

Wall ID	Length (m)	Max Retained Height (m)
Wall 1	144.0	2.90
Wall 2	105.0	3.20
Wall 3	45.0	1.75
Wall 4	6.4	0.60
Wall 5	10.7	0.60
Wall 6	7.6	0.50
Wall 7	23.0	0.60
Wall 8	14.0	0.85
Wall 9	59.9	1.65
Totals	415.6	

Table 3: Measured Wall Dimensions

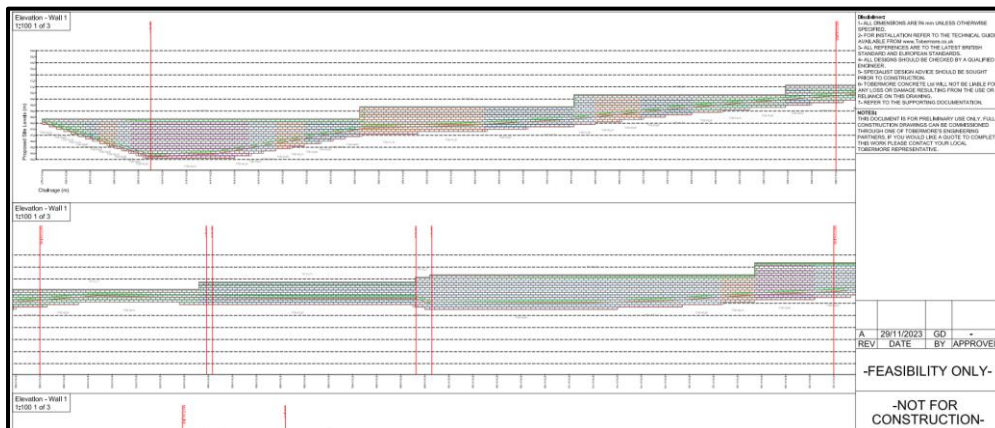


Fig 10. Retaining Wall Proposals vs Site Levels

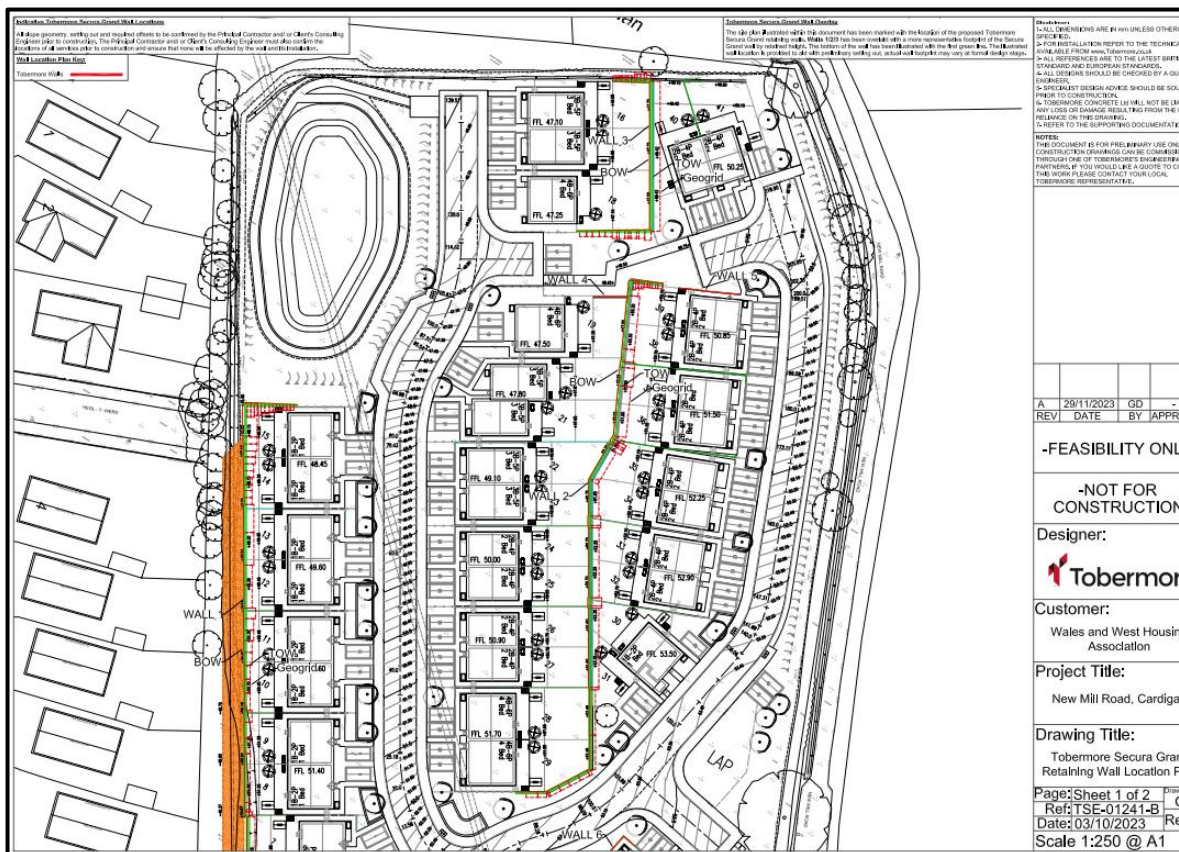


Fig 11. Retaining Wall Location Plan

The site is bounded by an extensive, retained wildlife corridor established hedgerows and vegetation, connecting the site to the surrounding green framework.

Wales and West strongly support the safeguarding of wildlife and with the aid of Policies DM14 and DM22 (Policy DM14: Nature Conservation and Ecological Connectivity and Policy DM22: General Environmental Protection and Enhancement) and Hammonds, we are able to provide a safe haven for all.

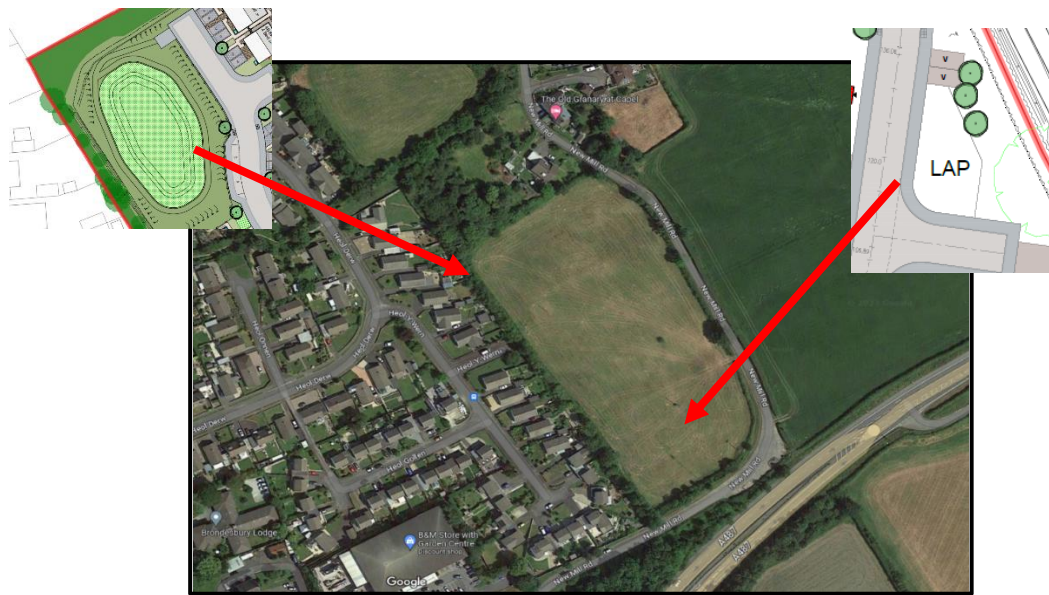


Fig 12. Open space and play areas

Indicated above are two areas of open space which promote an open space of play. To the North West the SuD's area; when dry, this area increases the areas of play and community gathering.

To the East, a fenced local area of play for children to play. WWHHA support and encourage HAPPI principles and Place Making for the communal areas.

The area encourages a communal feel whilst in turn, providing a natural space for local wildlife. This in turn supports the Future Generations Act (Wales) 2015 and enhances biodiversity and eco-systems in correlation with the Environment (Wales) Act 2016.

Storm Runoff

The primary objective of any surface water drainage strategy is to mimic the drainage characteristics of the existing site as far as practicable in the future development. As part of this application, it is the intention to collect and convey surface water flows from the proposed development within a positive system, discharging to a local cut-off ditch, which

currently serves the existing field, best replicating existing conditions. Within the proposed drainage strategy for the site, the proposed network and relevant storage structures would become adopted by the Local Authority.

The drainage strategy for the proposed development has been designed to store surface water runoff for up to a 100yr return period including 30% for climate change, discharging at a controlled rate of 2.9L/s, which is equivalent to the development site greenfield runoff rate into the adjacent local cut-off ditch. As green SuDS features such as detention basins are proposed, this will encourage groundwater recharge throughout the development site, reducing the volume of surface water discharge offsite.

Technical details will be submitted and approved under a SAB application.

An infrastructure constraints plan has been prepared by CB3 Consult (Drawing extract below, ref C-SK01). The Desk study suggests that this development site is suitable for an infiltration surface water disposal strategy subject to infiltration testing. There is an alternative positive connection into the watercourse available on site.

During its design, allowances were made for the storm water drainage to be placed at the lands most susceptible point of overflow collection. As you can see, the SuD's for this development sits to the Northwest, at the lowest point.



Fig 13. Topography levels showing flow to Basin

Foul:

An existing public sewer is currently located adjacent to the proposed development site, in Heol-Y-Wern. The preferred method of foul water disposal on this application site will be a gravity connection into the existing public sewer located within Heol-Y-Wern, with the onsite network adopted by DCWW under a section 104 agreement.

The DCWW Waste Water Treatment Works (WWTW) serving Cardigan Town and surrounding areas does not currently have capacity to serve any further developments. Its upgrade is included in their current Asset Management Programme and is due for completion by end of April 2027. Pre application discussions with DCWW have been held and they have confirmed that they would not object to any Planning Applications received, but they would be recommending a Grampian condition that occupation is not allowed until April 2027. The Planning Authority have also confirmed that this will be acceptable, and subsequently we will be programming the scheme so that construction will not complete until after April 2027. Likely to be a 24 month build programme so commencement will not occur until April 2025.

HV Lines

What the plan also shows are overhead cables running South-East to North-West, which are currently in use by Western Power Distribution. The overhead lines will negatively impact the design and construction of the development, as a result, an application will be made to divert the overheads to run under the proposed estate road.

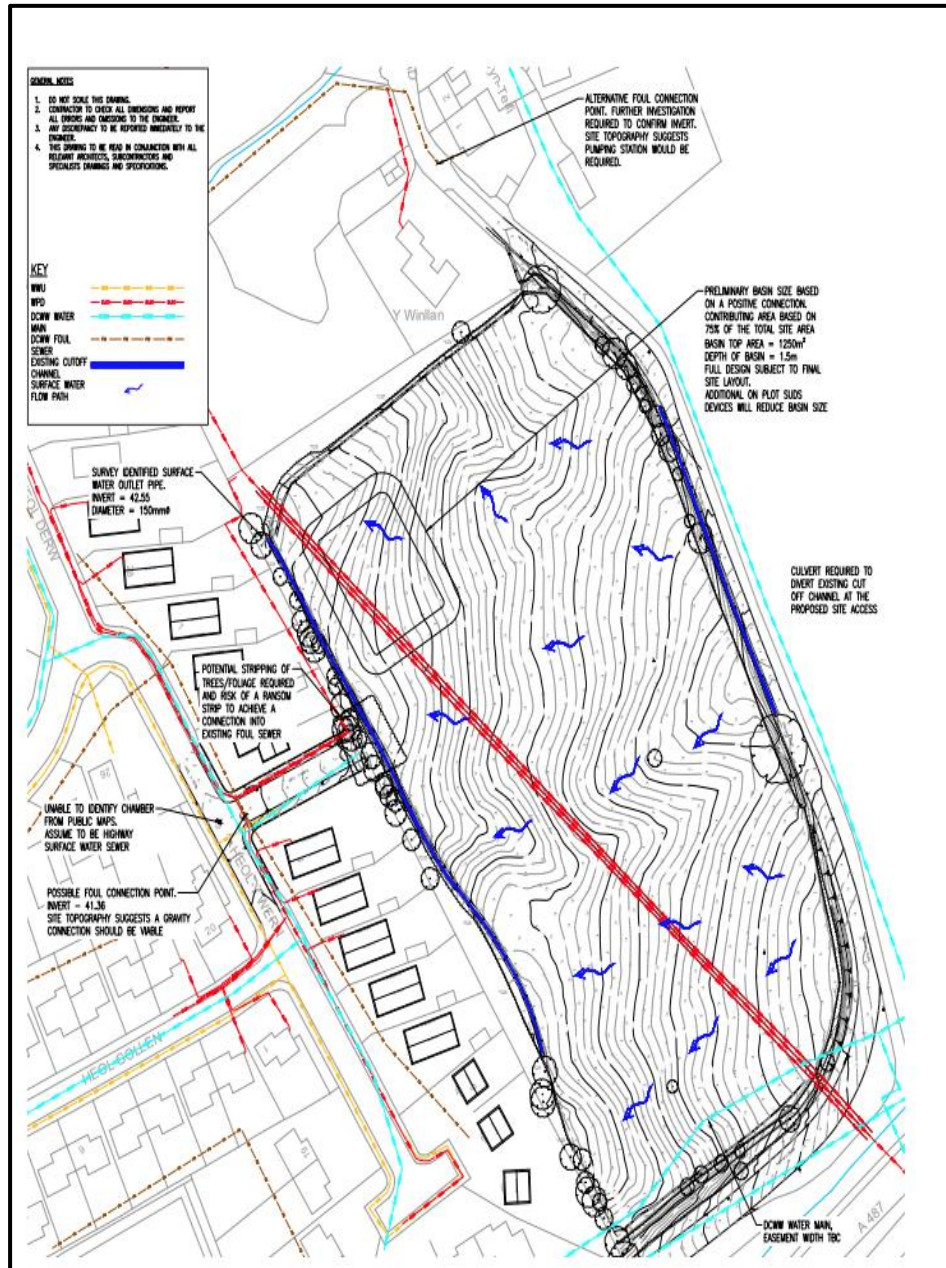


Fig 14. Existing overhead power line location

General:

Whilst the final design makes best use of the land, the process to reach this has had several iterations. As you can see in the original design below, the density was greater and the development was devoid of natural flow, creating an impersonal community.

Following feedback from Ceredigion County Council of a formal pre-app on the emerging concept proposals, further design development has progressed. By removing properties and restructuring the road layout from the original layout below, the development creates a natural and inviting flow. Parking is closer to homes and the feeling of a connected community is created with ease of movement throughout the site.



Fig 15. Original Site Layout

Additional feedback received from Ceredigion County Council has been reviewed, and the following proposal of action has been discussed:

- **A Linguistic Assessment.** This site is entirely for Social Rent purposes (i.e., for people already in the local area or having close connections within the area). Providing such an assessment is beneficial to the local public and local members.
- **The Land and Visual Impact Assessment should include an assessment of the views of the site from Cardigan Castle.** Wales and West Housing to arrange inspection.
- **A request for a screening opinion should be prepared and submitted before the application is submitted.** Avison Young will prepare a draft request for a screening opinion for review before submission.
- **A Pollution Prevention Plan/Construction Environmental Management Plan should be submitted with the application.** This is to be carried out by the contractor.
- **A Noise Assessment is likely to be required to assess the noise impact of the trunk road on future occupiers of the development.** This has already been instructed.

The following images indicate the proposed house types

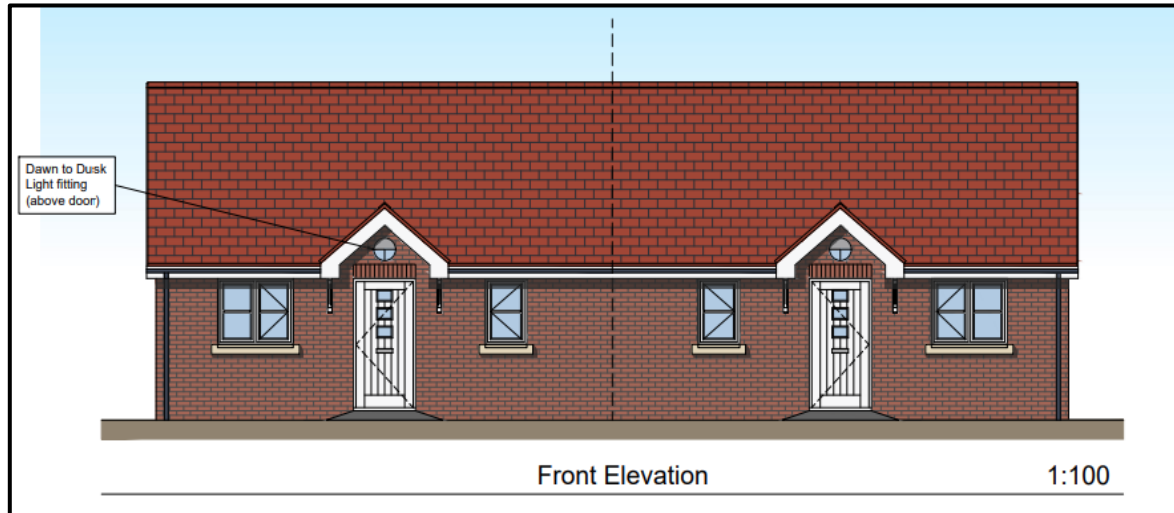


Fig 16. Typical 2p1b Semi Detached Bungalow with brick finish

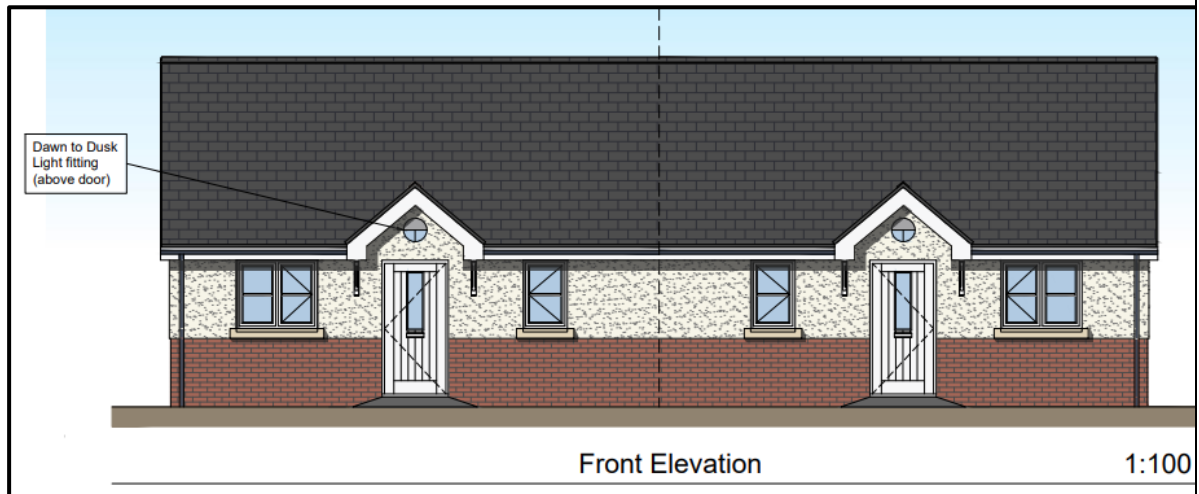


Fig 17. Typical 2p1b Semi Detached Bungalow with render finish

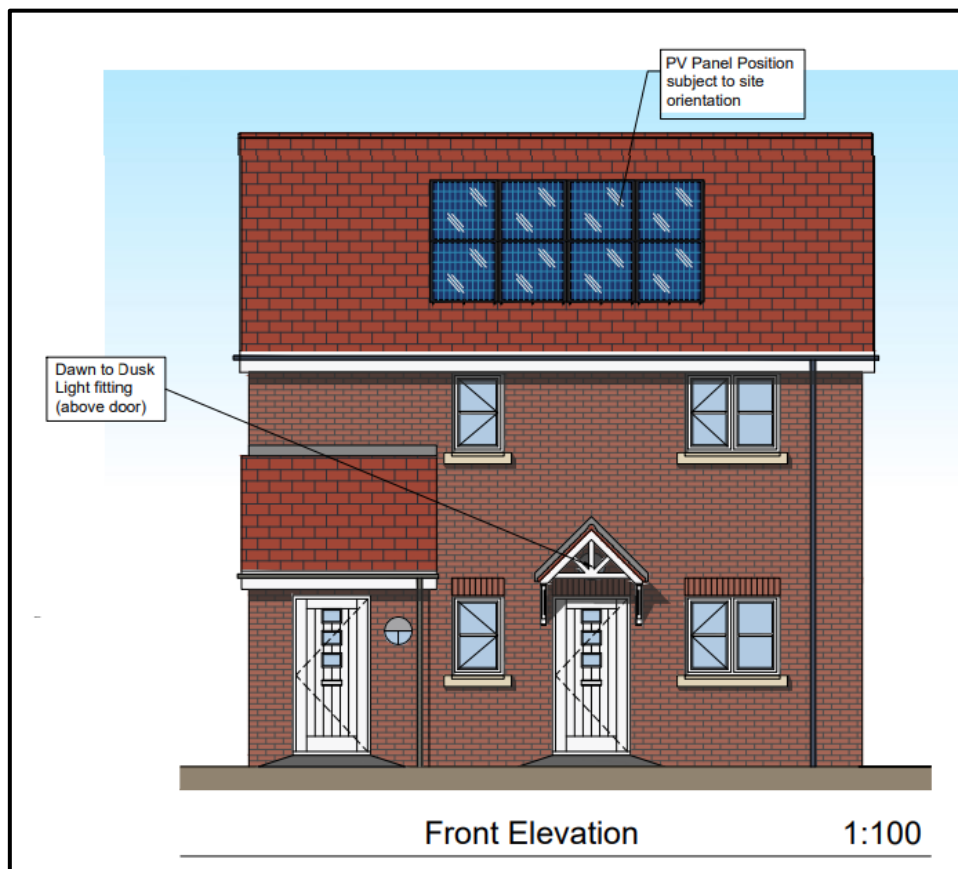


Fig 18. Typical 2p1b Detached Walk-up Flat with brick finish

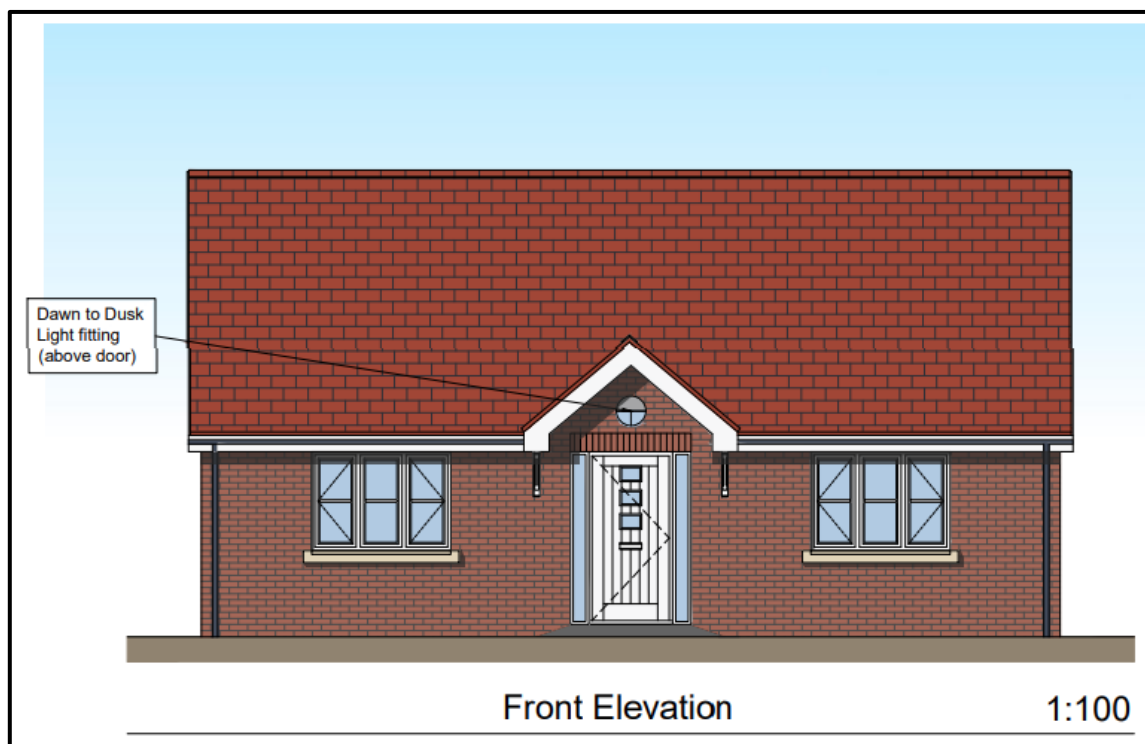


Fig 19. Typical 4p2b Detached Bungalow with brick finish

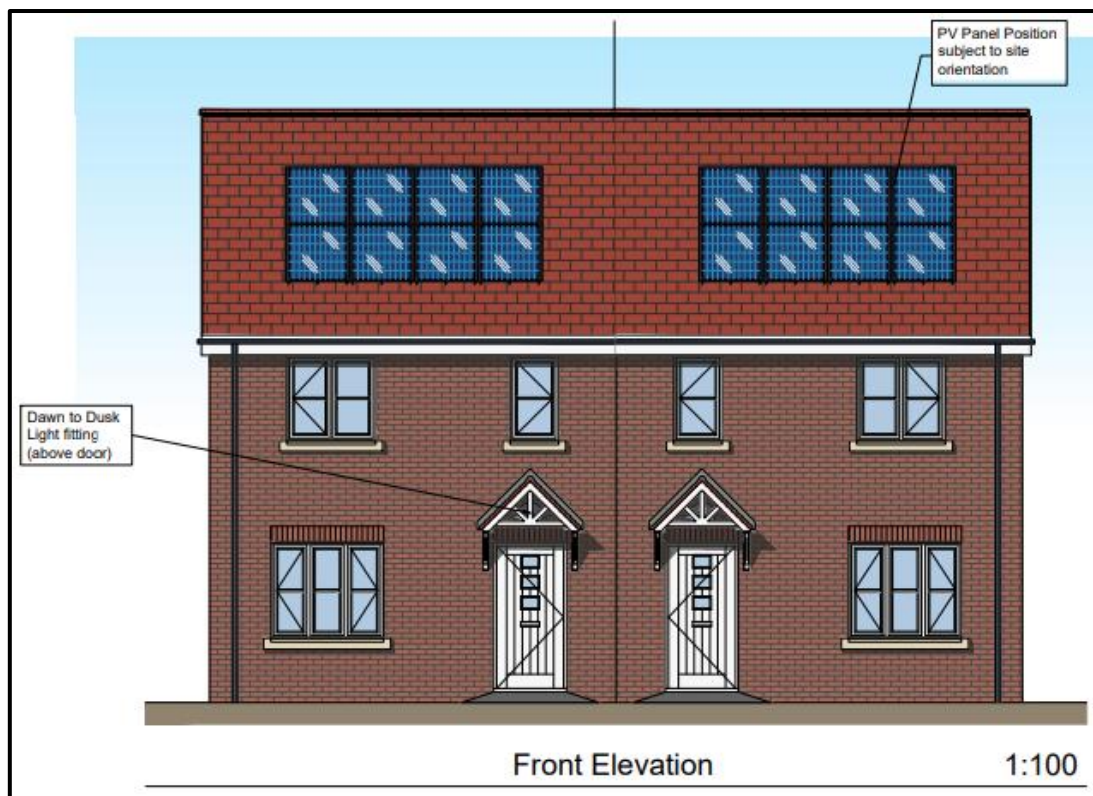


Fig 20. Typical 4p2b semi-detached with brick finish



Fig 21. Typical 4p2b semi-detached with render finish

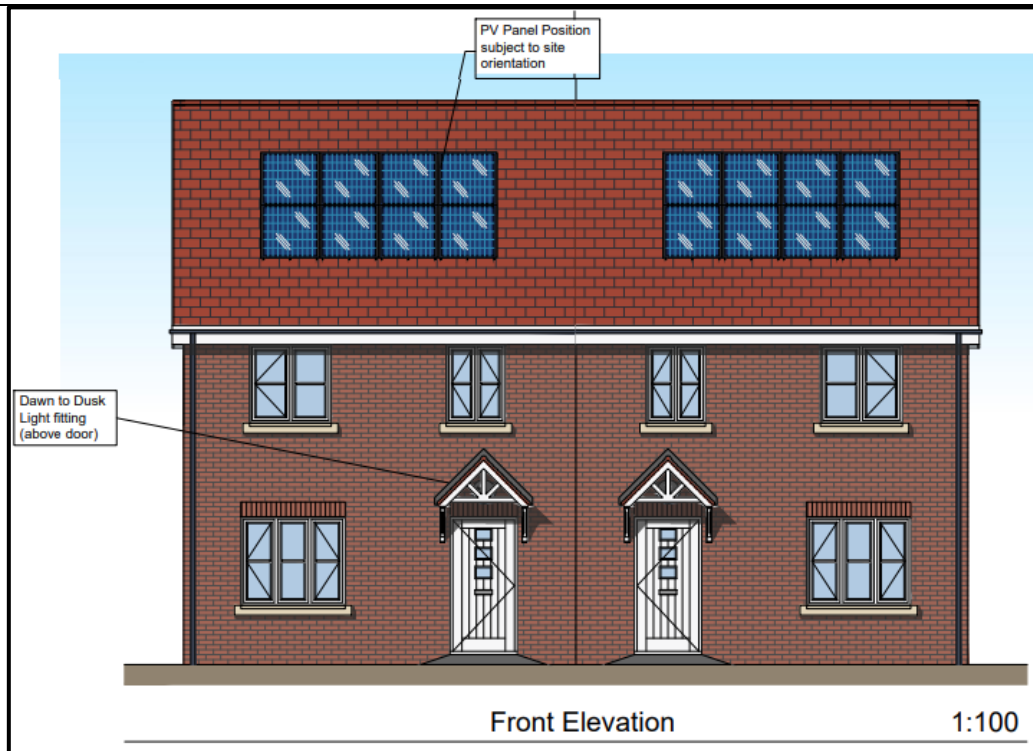


Fig 22. Typical 5p3b semi detached with brick finish



Fig 23. Typical 5p3b semi detached with render finish



Fig 24. Typical 6p4b semi-detached with render



Fig 25. Typical 6p4b detached with render

Built Form and Design

The site is bounded by existing residential properties to the north and west. Properties located in Dol Y Dintir to the west are characterised by detached bungalows and detached homes with direct front access onto the pavement and parking on plot to the side. Homes typically front on to the road, with boundaries delineated by a low brick wall. Homes are generally of painted render finish in muted colours (typically white) and the occasional concrete blockwork detail to the front facade. To the north, a cluster of larger detached homes, and a pair of semi-detached cottages are situated in larger plots, with on plot parking. Architectural finishes vary, with brick and render prevailing. Properties in the area are typically 2 storey detached homes and one storey/dormer bungalows.



Fig 26. Neighbouring Dwellings to New Mill Road

The following palette of material is proposed throughout the development:

- Rooves: Marley Eternit. Duo Edgemere interlocking tiles; colour: Smooth Grey and Old English Dark Red
- Rainwater goods: PVCu; colour: Black
- Walls: Taylor Maxwell Brick and Painted render, textured sand; colour: Brick: Waterhouse Red Multi: Render: (TBC)
- All facias, Barge and Soffit boards: PVCu; colour: White
- Windows: PVCu casement; colour: White
- Plinth: Brickwork; TBC
- External Doors Composite; colour: TBC
- Parking Areas: Tarmacadam; colour: Black
- Front Gardens: Bio-retention and Paving, colour: TBC
- Rear Garden Boundaries: Hit and Miss fencing with concrete posts
- Highway: tarmacadam

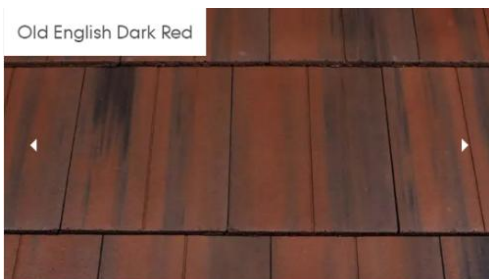


Fig 27. Proposed Material Finishes

Site Appraisal:

SWOT analysis results:

Strengths:

- Services near to support the development.
- Vacant, available land that could provide much needed housing, as shown in the housing demand table (page 7)
- A sustainable location within close proximity of the established settlement of Cardigan.
- Sustainably located within an existing residential neighbourhood, in walking distance to local amenities.
- Close proximity to existing bus stops and services.
- Site located in an area not affected by Phosphate restrictions.
- Strong existing landscape character.
- Attractively located, affording long distance hillside views.

Weaknesses:

- Limited footway provision along New Mill Road carriageway.
- Protection measures may be required in the form of easement widths or diversions for DCWW water main crossing the site (South).
- Sloping topography creates additional work, cost, and the addition of more retaining structures.
- Electricity line crossing the site will require relocating.

Opportunities:

- Create a logical extension to the existing settlement.
- Positively front onto New Mill Road.
- Create an area of open space incorporating play provision for use by residents.
- Incorporate ecological mitigation and biodiversity enhancement measures to enhance existing hedgerows and increase connectivity.
- Create a strong green infrastructure network for people, wildlife, and sustainable urban drainage.

- Improve footpath provision along New Mill Road, linking to Aberystwyth Road benefiting existing and future residents.
- Existing vegetation could potentially screen the development.
- Potential foul connection point to west. Site topography suggests a gravity connection will be viable.
- Desk study suggests that this development is suitable for an infiltration surface water disposal strategy (infiltration testing required to confirm) Alternative positive connection into the water course available on site.
- Divert existing overhead cables underground.

Threats:

- Located outside Adopted LDP Settlement boundary.
- Potential threat to existing habitats. Need to protect retained hedgerows along the site boundaries during/post-construction to avoid potential damage.
- Lighting - potential negative impact on foraging, commuting bats and hazel dormice. Need for appropriate lighting strategy.
- Updating works to be carried out on the Cardigan wastewater treatment facility, which could cause delays to the development.

Constraints:

The site's topography (above) shows the Easterly high point of ~55m, gradually falling Westerly to ~42.5m. In consideration of this, the bungalows designed will be adjacent to the Western boundary so as not to impose on the existing homes at Heol Y Wern.

We will work within the confines of the site, maintaining trees and hedgerows where possible and the built form is entwined within the natural topography of the site.

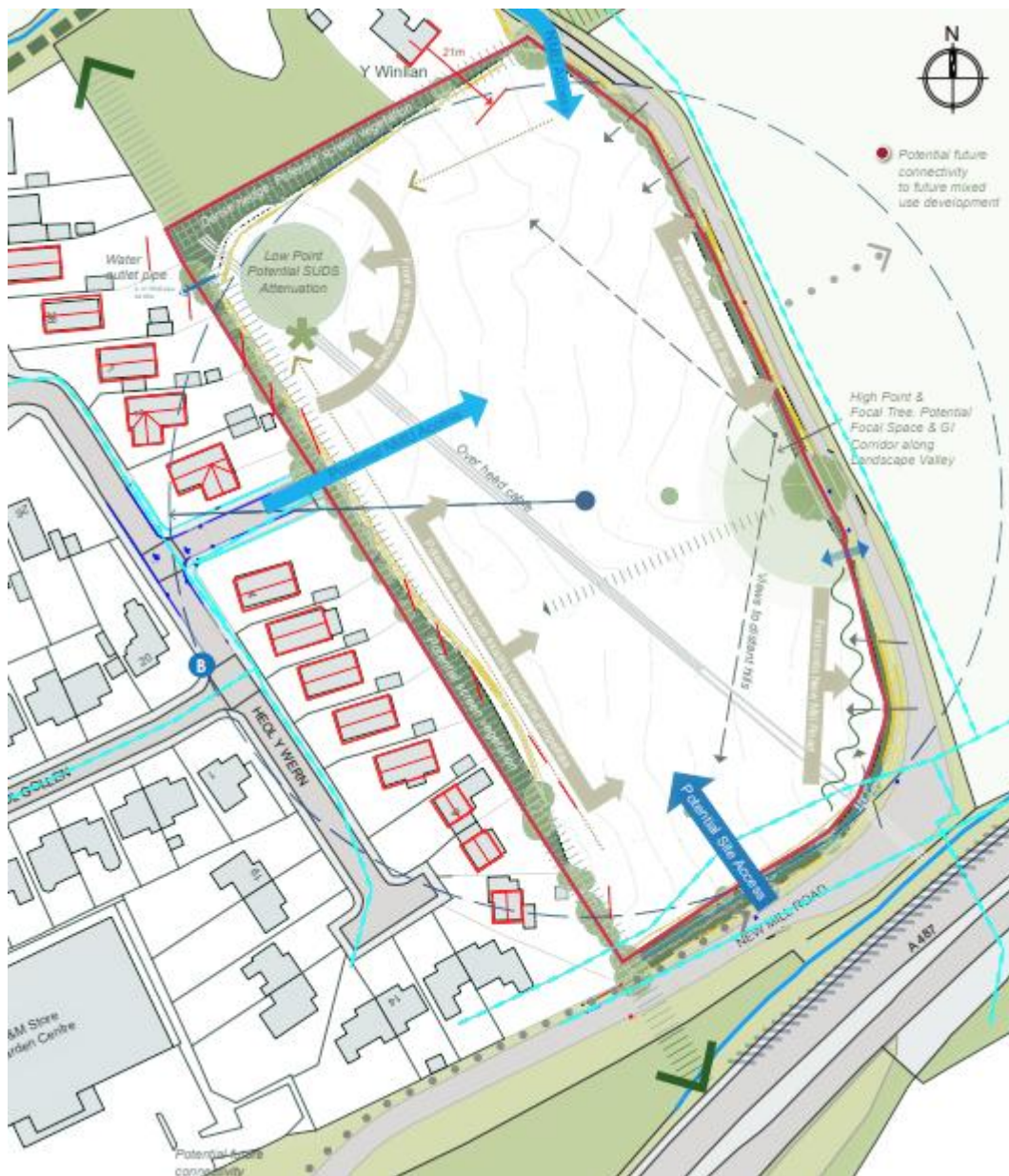


Fig 28. Opportunities & Constraints Plan

People & Community:

- Create an attractive, welcoming place that is accessible to all and fosters a sense of belonging leading to community stewardship.
- Provide a range of homes, attractive streets, and spaces to support community interaction and offer experiences that will help foster a sense of belonging and community.
- Shape proposals in response to the engagement process to ensure the final scheme meets the needs of the future community.

Location:

- Provide a range of homes, attractive streets, and spaces to support community interaction.
- Shape proposals in response to the engagement process to ensure the final scheme meets the needs of the future community.

Movement:

- Maximising convenient, safe, and active travel links from home to Cardigan's local community.
- Maximise active travel connections to existing movement network, helping to reduce car dependency and ensuring sustainable lifestyle are supported.
- Create an attractive and safe residential environment.

Mix of Uses:

- Efficiently use of land to provide a mix of housing types for Social Rent that suit local requirements and achieve an appropriate density. This is in line with the high housing demand evidenced within the Ceredigion County Council Housing Register (page 7), and close liaison with Housing Officers at Ceredigion County Council and our own Housing Team to provide the most suitable homes.
- Create spaces where people of all ages can gather around to establish a sense of community.

Public Realm:

- Connect to and enhance the Green Infrastructure network and provide space for people to come together and socially interact.

- Sustainably manage surface water, promote biodiversity, and allow people to come closer to nature, supporting people's well-being.

Identity:

- Deliver a distinctive characterful development, which creates a sense of place.
- Develop a strategy that celebrates the sites existing green assets and create opportunities to enjoy the wider landscape setting.
- Drawn on the local building styles and material palette, ensuring a sense of neighbourhood and belonging.

WDQR 2021 Compliance:

Wales and West Housing understand the requirements of section 1.a) of Welsh Development Quality Requirements 2021.

The scheme will be designed to meet the standards set out in the 'Beautiful Homes and Spaces' guidance with all room sizes meeting the various space requirements set out in WDQR and will be Lifetime Homes Compliant. We don't foresee any non-compliance issues.

The scheme will fully comply with WDQR, this is also represented in the materials proposed for the scheme and the method of construction, a strong emphasis on sustainability with this scheme. This scheme has been designed to ensure it utilises materials that are high in quality, efficient, possess a positive thermal gain, sustainable, easy to build with, which will enhance the design. This leaves WWHA with a highly insulated building that is easy to build, maintain and cheap to run for its whole life cycle. This will ensure the tenants benefit from a warm, easy to use and cheap to run properties.

Each plot has ample storage for any M&E requirements, and the current design allows for external air source heat fans and PV panels on the roofs

The Association has also consulted with the local Designing Out Crime Officer and no initial issues have been identified from a SBD Gold Compliance perspective. Reference number 858/005/2023.

We have worked with a landscape architect to help design the external areas whilst working within the confines of the site, maintaining trees and hedgerows where possible to ensure the built form is entwined within the natural topography of the site.

They have provided input into the SuDS strategy, as there are plenty of opportunities across the site to create some strong landscaping.

In terms of MMC, all new dwellings will be built utilising timber frame construction (as long as cost and market supply are appropriate), however we are working with our Long-Term Contractor partners to explore alternative forms of MMC, looking to take advantage of established knowledge and relationships to expand the use of on-site manufacturing and modular build. This must be looked at on a site-by-site basis and closer to the point of delivery on site, once market conditions and availability dictate. As an organisation we are strongly committed to delivering efficiencies on site, introducing standardised house types that assist in the continuity of build projects around the Welsh regions, especially when looking at offsite manufacturing and panelised systems.

The association specifies an air tightness of 1-2, current schemes that are using open panel systems are proving to be more problematic to achieve that specification so with our LTC partner we are exploring closed panel systems to achieve air tightness compliance. We will be looking to utilise MMC on this scheme by using MMC Category 2 – Pre-manufacturing (2D primary structural systems).

WWHA aims to configure its developments to move to a decarbonised in line with the WDQR2021 requirements.

The site has no existing buildings however, soil from site will be repurposed for landscaping (once testing has confirmed no toxins are present).

The development will make full use of sustainably efficient resources to ensure EPC A is reached.

WWH are committed to meeting WG's drive towards MMC and Decarbonisation in the construction of our new homes. Within our ER's and Specification we require all new

developments to take a fabric first approach to meeting an EPC A rating for all new homes constructed. This will ensure we maximise the buildings performance standards without having to add unnecessary technology and component to meet our EPC A requirements. In line with this we require all new development to meet the following U Values:

Building Fabric Element	U Value (or better)
Traditional External Wall	0.13
Timber Frame External Wall	0.13
Party Walls	0.0
Roof	0.11
Sloping Roof (where a room is in roof structure)	0.11
Floor	0.11
Window	1.3 (g value of 6.3)
Roof light	1.1
External Door	1.0
French /Patio Door	1.3
Curtain Wall	1.2
Design Air Permeability	Between 1-2 m ³ /(h.m ²) at 50 Pa

Table 4: WWH U Values and Air Permeability Thresholds

In addition, we have made a commitment at WWH to steer away from fossil fuels to heat and provide hot water in our homes, where we will instead be utilising green energy.

As such this will be provided by an Air Source Heat Pump and complimented by Photovoltaic Solar Panels. Whilst electric is currently more expensive form of fuel we feel with the assistance of the solar panels this will assist residents in offsetting these additional costs.

All properties will be Gigabit ready broadband connected, for example fibre will be provided to the premises (FTTP) or gigabit wireless technologies, shall be provided to every home.

Consideration has been given to the installation of networks to all homes that offer a choice of internet service providers.

Comment on Procurement: (Maximum 200 words)

Wales & West Housing Association have undergone an approach to procuring contractors on all new build developments.

By reviewing the inefficiencies and challenges created for clients and contractors in the usual methods of tendering, WWHA are progressing with a new way of working in partnership with contractors.

WWHA has issued a long term 10-year partnership contract to several contractors to progress with the majority of our new build developments including this scheme. Our partner contractor is working with the WWHA on early stage designs and engaging with local supply chains, giving advice to provide improvements in buildability and improve working relationships within the project team.

This includes developing the most appropriate local modern method of construction to suit WWHA needs.

The long-term arrangement will allow to develop clear understanding of the requirements and changes that will face both parties. The largest benefit to this partnering approach will be to allow improvements by using lessons learnt from previous schemes, where value can be added and where costs can be saved.

Comment on Cost: (Maximum 200 words)

The Estimated Scheme cost amounts to [Redacted] which equates to a cost of [Redacted] per m2.

Appendix 2 (Part 2)(1)— Technical Review Feedback Form

Streamlined Pre-Planning Stage Feedback to RSLs and LAs

Technical approval does not constitute grant approval which is a separate process.

Scheme Name and PDP reference number	New Mill Road, Ceredigion CER/23/7239
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Future submission advice

General

In circumstances where a good quality, technically compliant Concept scrutiny submission is received, a Pre-Planning approval may be issued in response.

The procedure will “by-pass” the need for a Pre-Planning submission only in those circumstances where schemes can be seen to be of high quality and compliant with design standards. Generally, this will mean that a Concept review by Welsh Government will identify either full compliance or alternatively, no more than three or four significant non-technical/minor technical matters (e.g. LTH bathroom configuration) to be addressed by the housing provider before (or at) Construction stage.

This Concept submission meets with our quality requirements to approve as a Pre-Planning response. It is therefore not necessary for a further Pre-Planning application. **However, the further information required to be submitted by this response must be addressed at Construction stage.**

Project Introduction

The project introduction is well described and understood.

The submission form contained a good account of the background and history, substantiated by a comprehensive brief and mission statement that set out the association’s quality driven agenda.

Evidence of brief as presented to design team at inception

The vision and design quality requirements for the project are well described in the Client’s Brief.

Design concept and context analysis

The context was well explained, and the vision well illustrated demonstrating how the quality agenda had been addressed. This helped us to get a real understanding of how the brief had been translated into the design solution presented.

There is good evidence of a correct approach to the “design concept” and “context analysis”.

The proposals reflect the requirements set out in the introduction and provides a well thought out and pleasing solution.

Comment on SWOT

The SWOT analysis was informative.

WDQR 2021 compliance

The proposals appear to fully comply with the standard.

Site Appraisal

The information presented was sufficient to demonstrate how external ground levels have impacted on Lifetime Homes Standards compliance and how wheelchair access can be achieved to the property.

Placemaking

Placemaking has been satisfactorily accommodated in the design.

Planning Issues and Constraints

The status of the planning consent is unclear. **Planning consent remains a risk at technical scrutiny Concept stage and must be confirmed at Construction stage**

WDQR 2021 Compliance

What measures have been taken to consider the whole life cost analysis for the design, to meet the requirements of section 1.a) of Welsh Development Quality Requirements 2021: Creating Beautiful Homes and Places (WDQR2021).

The proposals are noted and accepted.

MMC

The proposal to consider the use of MMC is noted. **In order to qualify for an ACG uplift, the commitment must be explained at Construction stage.**

Please be aware that proposals to use Cat 2 MMC traditional timber frame will not qualify for an SVM ACG uplift. WDQR 2021 states that “Delivery of homes via MMC should be viewed as a technological “step change” and not merely the inclusion of elements of the construction that are already traditionally produced off-site”. Acceptable timber frame MMC will need to display an element of panelised off site assembly, the use of Welsh timber or some other form of innovation.

Delivered MMC will be reviewed at Post Completion review.

Are there measures adopted in moving to a decarbonised and circular built environment to meet requirements of WDQR2021 1.c).

The proposals for WDQR 2021 Requirement 1.c) are noted and accepted.

Strategy for achieving the energy and decarbonisation requirements of WDQR2021 1.d), in particular achieving EPC A using the minimum fabric standard and with no fossil fuels.

The requirement for achieving EPC A with a fabric first approach and no fossil fuel boilers in accordance with the requirements of WDQR 2021 are noted.

It is accepted that EPC A may be more difficult to achieve with software changes made to the SAP. Energy targets set at the date of Concept submissions will be expected to deliver EPC A based on the SAP software version current at the date of submission. It is accepted that where software changes occur after Concept stage, newer versions of software may not yield EPC A.

Future planning for utilities, (notably electricity supplies) is essential for low carbon strategies to be successful. The National Grid for example has launched connections surgeries to assist developers to meet development programmes at the following link... <https://connections.nationalgrid.co.uk/surgery-appointments>

Heat Pumps are proposed for space and water heating. This type of heating requires specialist design to ensure that the heat loss characteristics of each

<p>room are calculated to size radiators and other space heat emitters such as under floor heating systems. The performance of the installed systems will be reviewed at Post Completion Review and evidence of the design calculations from an accredited designer should be recorded in your Review File.</p>
<p><i>2.c) Are bike stores shown and is there any reference to Active Travel.</i></p> <p>Please note the requirement of WDQR 2.c and that a dedicated space for bicycles should be provided acknowledging the importance of the Welsh Government policy on Active Travel and sustainable design. Please record details in the Review File.</p>
<p><i>2.f) Do all flats and bungalows have a shower in addition to a bath and bungalows, ground floor flats and flats served by a lift have a bathroom designed so it is capable of adaptation for use by a person in a wheelchair.</i></p> <p>Welsh Government will accept homes without a bath, provided there is space to replace the shower with a bath in the future if required which is compliant with Lifetime Homes Criterion 14b.</p>
<p><i>2.h) Are homes designed to maintain the dignity of occupants and visitors</i></p> <p>Dignity measures are met</p>
<p><i>2.i) Home Office identified?</i></p> <p>Sufficient space is shown on plans. Please evidence the provision in the Review File</p>
<p><i>2.m) Measures to achieve Gigabit ready Broadband connectivity</i></p> <p>The proposals for broadband connectivity are noted and accepted.</p>
<p><i>3.c) Kitchens and bathrooms are functional and help reduce the risk of accidents</i></p> <p>Please check that kitchen layouts and provisions meet your requirements.</p>
<p><i>Appendix A and Appendix B Space requirements</i></p> <p>The house plans comply with WDQR Appendix A and Appendix B.</p> <p>The drawings are well presented. The following observations are provided for your consideration.</p> <ol style="list-style-type: none"> 1. Check storage provision and distribution of storage within houses meets your requirements. 2. Consider how low carbon technologies proposed for heating and hot water might impact on internal space – equipment will need space.

Information required to be submitted at Construction stage

Additional requested information to be submitted at Construction stage submission to Housing Funding;

1. Details of cost savings made since Pre-Planning
2. Confirmation of planning permission
3. MMC commitment
4. SuDS costs

Procurement

WG Feedback

Procurement proposals noted. Please populate the Review File with appropriate details in due course.

Cost

We note the following cost information supplied;

Acquisition Costs [Redacted]

Works [Redacted]

Abnormals [Redacted]

Indicative WSCI [Redacted]%

SuDS costs unclear. **Clarify at Construction stage**

This scheme is general need with one wheelchair accessible dwelling.

We have concerns about the £m2 cost of the development (less abnormals) which are [Redacted]% above the higher end of normally acceptable £m2 costs for this type of development. **At Construction stage, please confirm how our concerns have been addressed.**

We draw your attention to the rules within the procedural guidelines in respect of the amount of grant payable and trust that you are satisfied that the scheme is viable.

The 7% non-fossil fuel SVM WSCI uplift may be applied to the proposals.

The 10% MMC SVM WSCI uplift may be applied to the proposals subject to the requested commitment.

The scheme indicates wheelchair accommodation. Wheelchair supplements will be paid relative to Table C of the ACG 2021 (Revised May 2022) guidance.

In this instance one wheelchair supplement may be justified.

No Exceptional Provisions have been identified for scrutiny at Concept stage.

Where there is a cost increase when the costs submitted at Construction stage are above those submitted at Acquisition stage or for Technical Scrutiny, details and an explanation should be recorded in your Review File. Please note that costs approved at Construction Stage will be subject to the rules within the Procedural Guidelines (Social Housing Grant (SHG) Guidance for Registered Social Landlords and Local Authorities) in respect of the amount of grant payable.

Technical approval does not constitute grant approval which is a separate process.

Approved	<input checked="" type="checkbox"/>	Rejected	<input type="checkbox"/>	Not applicable	<input type="checkbox"/>
Date submitted to Welsh Government:	02 September 2024				
Reviewed by	[Redacted]				
Date reviewed:	17 September 2024				
Tel:	[Redacted]				
Email:	[Redacted]				

Post Completion Submission

(Complete after Practical Completion has been certified)

Date of Practical Completion:

Confirm the date of Practical Completion as certified by the RSL or LA's Project Manager or Contract Administrator.

Where the scheme has been completed in phases, also confirm dates of completion of sections or partial possessions as appropriate.

Review File:

Confirm that the Review File has been produced and is complete, pending the issue of the Final Certificate, in readiness for Welsh Government Post Completion Review.

As-built Drawings to be included with Post Completion Submission:

Please submit only the following drawings as included within the Review File. Refer to Appendix 5 for details.

Documents Provided	Scale (Minimum)	File name (enter drawing name, drawing number and revision suffix)
Site plan	1:500	
Landscape plan	1:500	
SuDS site plan	1:500	
Home layout plans	1:50	

Contact Details for Construction Stage Consultants:

Name	Organisation	Telephone	email
Design Consultant			
Cost Consultant			
Other Consultants			
Other Consultants			
Other Consultants			
Other Consultants			

Post Completion Scheme Data:

Please provide the following data if different to Pre Planning Stage. Where all data remains as Pre Planning Stage leave schedule blank.

Persons	Bedrooms	Type	Need	Tenure	Work Type	No of Homes	GIA	Total GIA
<i>Only use acronyms as shown in guidance Appendix 3 Gross Internal (floor) Areas (GIA's) must match architect's design data Please check arithmetic before submission</i>								
					Total		Total	

Cost Data (complete for each stage £)

Please check arithmetic before submission

	Construction (Contract Sum) £	Post Completion (Final Account) £
Works Cost		
Works Cost/m ²		
Abnormals Costs		
Works Cost less abnormals		
Cost/m ² less abnormals		
Indicative SCI (Fixed grant percentage)		
Indicative WCI (SVM)		

List of Abnormals (costed)

Please check arithmetic before submission

[illegible]

Appendix 2 (Part 1) (Light) — Technical Review Submission Form

For completion by the RSL or LA. Appendix 2 (Light) Form is applicable to an Existing Dwelling, Empty Properties, Mortgage Rescue, Buy Backs

Follow the Explanatory Guidance (Appendix 3) and refer to Appendix 4 (for supporting documentation) before completing the submission. Refer to the Social Housing Grant guidance at:

<https://gov.wales/social-housing-grant-guidance-registered-social-landlords-and-local-authorities>

Confirmation	We have read the above procedural guidance	
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Scheme Details

Applicant Name		
Scheme Name		
PDP Reference Number		
Scheme Address	<i>Street</i>	
	<i>County</i>	
Postcode		
PDP Status	Main	
	Reserve	
	Potential	
	Other	
Tender Type	<i>Competitive tender or negotiated (delete as applicable).</i>	
Procurement Route	<i>Package deal, collaborative package deal, design & build, collaborative design & build, conventional procurement (delete as applicable).</i>	
Other Funding Requirements in addition to SHG	<i>State the name of any other funding necessary for scheme delivery: e.g., TRI, IHP etc., Clearly explain within comment on cost.</i>	
Anticipated Scheme handover date		
EPC energy rating	<i>Schemes must as a minimum meet the energy standard in WHQS but should aim for a higher standard where practical and cost effective to do so.</i> <i>State EPC Energy Rating at acquisition.</i> <i>State proposed EPC Energy Rating as applicable.</i>	

Documents to be submitted

Documents Provided	Scale (Minimum)	File name (enter drawing name, drawing number and revision suffix)
Project Design Brief		
Site location plan	1:1250	
Topography	1:500	
Existing site plan	1:500	
Existing building plans	1:100	
Existing building elevations	1:100	
SWOT	1:500	
Proposed site plan	1:500	
Landscape plan	1:500	
Site sections	1:500	
Home layout plans	1:50	
Elevations proposed	1:100	
Building sections	1:100	
Street Scene	1:200	
Photography		
Context analysis		
Visual (3D)		
Other <i>Specify as necessary</i>		

This form has been completed by:

Name/contact details	
Role within RSL	
Date	

Contact Details for Consultants (where applicable)

Name	Organisation	Telephone	email
Design Consultant			
Cost Consultant			
Other Consultants			

Scheme Data

Persons	Bedrooms	Type	Need	Tenure	Work Type	No of Homes	NFA	Total NFA
					Total		Total	

Cost Data

	£
Works Cost	
Acquisition Cost	
Total Cost/m ²	
Works Cost/m ²	
Indicative SCI (Fixed grant percentage schemes only)	

Project Introduction: (Maximum 200 words)

Outline background and proposals

Evidence how the design team were briefed

Comment on Procurement

Comment on Cost

Planning Issues and Constraints

Appendix 3 — Explanatory Guidance

The following guidance will help you fill out the Appendix 2 (Part 1) – Technical Review Submission form and provide a list of information required at each stage.

Submit sufficient information to illustrate good architecture.

Do not submit unnecessary design iterations, DAS's, or similarly large reports such as ecology, SI, cost reports, duplications, unreferenced photography, superfluous information or information that is not referenced within the submission.

Relevant information should be extracted from reports (e.g., DAS or similar) and entered into the submission.

Do not embed PDF files within submission forms.

Part 1

Scheme details

Application Boxes	Information Required
Application Stage	Choose as applicable Concept, Pre Planning or Post Completion. For Pre Planning submissions confirm that Concept stage feedback is incorporated. Post Completion details are to be submitted after Practical Completion.
Applicant name	Enter RSL or LA
Scheme name	Insert name as it appears on the PDP
PDP reference number	Insert number as it appears on the PDP
Scheme address	Insert the full street address and County
Postcode	Enter nearest applicable postcode
DOCO Reference	Enter details of Secured by Design Gold application date or reference number
PDP Status	Select the scheme's status within the current PDP: Main programme, reserve scheme, potential scheme or with LA support if not on PDP
Tender Type	Select competitively tendered or negotiated (includes package deal)
Procurement route	Select the applicable procurement route. A definition of each procurement route is provided below:

	<p><u>Package deal</u></p> <p>Where the site/property and the works are provided as a “package” by the developing contractor who also is given the total responsibility for the scheme design and specification.</p>
	<p><u>Collaborative Package Deal</u></p> <p>Where a site/property is offered as a package deal but the RSL/LA partner has control over the design and engages consultants to provide a scheme design up to and including Stage 3 of the RIBA plan of work.</p> <p>The detailed design and specification will be the responsibility of the developer but must have the approval of the RSL/LA housing provider</p>
	<p><u>Design & Build</u></p> <p>Where the total responsibility for the scheme design and specification is given to the tendering contractor and the site/property is acquired separately.</p> <p>The detailed design and specification must have the approval of the RSL/LA housing provider</p>
	<p><u>Collaborative Design & Build</u></p> <p>Where a site/property is acquired and consultants are engaged to provide a scheme design up to and including Stage 3 of the RIBA plan of work, the detailed design and specification being the responsibility of the tendering contractor.</p> <p>The detailed design and specification will be the responsibility of the contractor but must have the approval of the RSL/LA housing provider.</p>
	<p><u>Conventional Procurement</u></p> <p>Where a site/property is acquired and responsibility for the design and specification is primarily that of consultants engaged by the RSL/LA housing provider.</p>
Other funding requirements in addition to SHG	Describe other funding necessary for scheme delivery, e.g., TRI, IHP, etc. Clearly explain with comment on cost.
Anticipated scheme handover date	Enter best known estimate at time of submission
Documents to be submitted	Complete the schedule. See Appendix 04 for guidance on documents to accompany submission.
Name/contact details	Insert name/details of responsible officer.
Role in RSL/LA	Insert job title.
Date	Insert date submitted.

Contact details — consultants

(Complete/update for each stage)

Consultant	Contact Details
Design Consultant	Add name and contact details (when appointed) (This should identify the Practice Name and the responsible person)
Cost Consultant	Add name and contact details (when known) (This should identify the Practice Name and the responsible person)
Other Consultant (s)	Add name (s) and contact details (when known) (This should identify the Practice Name (s) and the responsible person)

Scheme data

(Complete/update for each stage)

Application Boxes	Information Required
Persons and Bedrooms	Confirm number of persons/bedrooms If your homes are not covered request bespoke ACG from Welsh Government.
Type	Confirm whether home is a; F – Flat H – House B – Bungalow
Need	Confirm the need for the home; GN – General needs OP – Older persons EX – Extra care SH – Supported housing H – Homelessness
Tenure	Confirm the tenure; SR – Social rent IR – Intermediate rent TN – Tenure neutral
Works Type	Confirm the works type; NB – New build CU – Change of use ED -Existing Dwelling OFS – Off the shelf
Number of homes	Confirm per type

Gross Internal (floor) Area (GIA)	Confirm for each home. For flatted developments enter apartment GIA's. Do not include circulation etc., For Extra Care developments provide an overall GIA (gross internal floor area) summary in addition to apartment GIA's.
GIA totals	Total gross internal floor area (from Scheme Data Form)

Cost data

(Complete/update for all Stages)

Application Boxes	Information Required
Works cost	Insert estimated/actual cost as appropriate
Acquisition cost	Insert (all procurement routes)
Works cost/m ²	Insert cost m ²
Abnormals	Insert costs for acceptable abnormals. See Appendix 12 for details on abnormal costs/factors affecting costs.
Works cost less abnormals	Insert estimated/actual cost as appropriate
Cost/m ² less abnormals	Insert cost m ²
Indicative works cost Scheme Cost Index (SCI)	Provide provisional assessment of SCI (or WCI depending on grant model) upon which the scheme viability is based.

List of Abnormals

(Complete/update for all Stages)

List of Abnormals	Insert costed list at each stage
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Concept stage submission

RSL/LA Project Introduction, Design Concept and Site Appraisal

Application Boxes	Information Required
Project Introduction	<p>Your opportunity to outline the background / history of the scheme, details of the client group and special circumstances.</p> <p>Evidence the scheme specific project design brief as provided to the design consultants at scheme inception.</p>
Design concept and context analysis	<p>In conjunction with your designers give a description of the concept and design vision for the scheme and how the quality agenda is being addressed. The design team should pay particular reference to the Welsh Government publication <i>Site & Context Analysis Guide: Capturing the value of a site</i>.</p> <p>https://gov.wales/sites/default/files/publications/2018-09/site-context-analysis-guide.pdf</p> <p>Clearly explain the vision/concept and how the quality agenda had been addressed with illustrations to demonstrate the design. Provide information on the materials to be used with annotated elevations and materials palette.</p> <p>Explain how any engagement with the community and any tenant feedback from earlier schemes has influenced the design.</p> <p>If there any potential Welsh Government Quality Standards compliance issues provide details.</p>
Site appraisal	<p>Explain how the external spaces are designed (by reference to the above Welsh Government guidance) and how they relate to the homes and the surrounding environment. Put the site in context, and show how the buildings are orientated, potential for passive solar gain, SUDS etc.</p> <p>Make reference to place making as a design objective. Submissions should clearly demonstrate how the design meets the six place making principles of the Design Commission for Wales' "Placemaking Charter".</p>

RSL/LA comments on WDQR 2021 Compliance

Application Boxes	Information Required
Whole life cost analysis	Your opportunity to briefly explain what measures have been taken to consider the whole life cost analysis for the design, to meet the requirements of section 1.a) of Welsh Development Quality Requirements 2021: Creating Beautiful Homes and Places (WDQR2021).
Modern Methods of Construction (MMC)	MMC is a preferred delivery solution. Briefly describe any proposed MMC by reference to the MMC framework definitions as required by WDQR2021 1.b). If no MMC is proposed provide explanation.
A decarbonised and circular built environment	Briefly explain measures adopted in moving to a decarbonised and circular built environment to meet requirements of WDQR2021 1.c).
Energy and decarbonisation	Briefly explain strategy for achieving the energy and decarbonisation requirements of WDQR2021 1.d), in particular achieving EPC A with no fossil fuels. If an alternative approach has been chosen to demonstrate that the energy demand for each dwelling is reduced, briefly explain proposals as WDQR2021 1.d). Note that independent certification will be required for alternative proposals and that evidence of the EPC rating which would be achieved by following your chosen approach should also be provided.
Broadband	Briefly explain proposals for Gigabit ready Broadband connectivity to meet requirements of WDQR 2021 2.m).

RSL/LA comments on procurement

Application Boxes	Information Required
	Add any information related to the procurement route and keep a record of any comments on the Review File.

RSL/LA comments on cost

Application Boxes	Information Required
	Record any factors that may impact on the cost, for example poor ground conditions or planning requirements, and keep a record of any comments on the Review File. Provide estimated works cost Scheme Cost Index (SCI) percentage at date of submission.

Pre Planning stage submission

RSL/LA update on Developments and Changes since Concept Stage

Application Boxes	Information Required
Developments or changes since Concept Stage	Outline how the scheme has developed since the Concept stage, how your vision has been translated into a completed design and any changes you have made.
Planning issues and constraints	If applicable outline any planning issues, constraints on design or planning conditions following the pre application meeting with the Local Authority.

RSL/LA update on WDQR 2021 Compliance

Application Boxes	Information Required
Compliance update	Update any information related to the Sustainability, Modern Methods of Construction, Low Carbon Design, Energy Performance Rating and Broadband and keep a record of any comments on the Review File.

RSL/LA update on procurement

Application Boxes	Information Required
Procurement	Update any information related to the procurement route and keep a record of any comments on the Review File.

RSL/LA update on cost

Application Boxes	Information Required
Cost	<p>Update any factors that may impact on the cost, for example poor ground conditions or planning requirements, and keep a record of any comments on the Review File.</p> <p>Provide updated SCI or WCI as applicable.</p>

Post Completion stage submission

Application Boxes	Information Required
Date of Practical Completion	Confirm the date of Practical Completion as certified by the RSL or LA's Project Manager or Contract Administrator. Where the scheme has been completed in phases, also confirm dates of completion of sections or partial possessions as appropriate.
Review File	Confirm that the Review File has been produced and is complete, pending the issue of the Final Certificate, in readiness for Welsh Government Post Completion Review.
As-built drawings to be submitted	Submit the drawings listed and as included within the Review File. Refer to Appendix 5 for further details.
Contact details for Construction stage consultants	Add name (s) and contact details of Construction stage consultants(This should identify the Practice Name (s) and the responsible person)
Scheme data	Provide data if different to Pre Planning Stage. Where all data remains as Pre Planning Stage leave schedule blank.
Cost data	Confirm Construction (Contract Sum) and Post Completion (Final Account) amounts.
List of abnormalities	Confirm Construction (Contract Sum) and Post Completion (Final Account)

PART 2 — Welsh Government Feedback on Design

Concept

Application Boxes	Information Required
Welsh Government feedback on design and concept	Welsh Government will provide good practice advice and comment on quality issues.
Welsh Government feedback on proposals for sustainability, MMC, low carbon design and EPC rating	Welsh Government will provide comment on RSL/LA proposals for Sustainability, Modern Methods of Construction, Low Carbon Design and Energy Performance Rating.
Welsh Government feedback on Welsh Government Quality Standards compliance.	Welsh Government will comment on Welsh Government Quality Standards compliance issues if relevant.
Welsh Government feedback on Procurement	Welsh Government will provide comment/advice on anything previously referred to within the submission.
Welsh Government feedback on cost.	Welsh Government will provide comment/advice on anything you referred to within the submission.

Pre Planning

Application Boxes	Information Required
Welsh Government feedback on design	Welsh Government will provide good practice advice and comment on quality.
Welsh Government feedback on proposals for sustainability, MMC, low carbon design and EPC rating	Welsh Government will provide comment on RSL/LA proposals for Sustainability, Modern Methods of Construction, Low Carbon Design and Energy Performance Rating.
Welsh Government comment on Welsh Government Quality Standards compliance	Welsh Government will comment on compliance as necessary.
Welsh Government comment on Procurement update	Welsh Government will comment on developments since Concept stage
Welsh Government comment on cost update	Welsh Government will comment on cost as necessary.

Appendix 4 — Documents to Accompany Submission

All documents to be submitted to Welsh Government electronically for retention plus 1 hard copy for scrutiny purposes.

Sketch plans illustrating the concept must be printed to nominated scale at the intended drawing size with scale bar and north point.

Concept

Document	Notes
Outline project history	Within submission form
Statement about design vision	Within submission form
Describe how the scheme addresses the quality agenda	Within submission form
Project design brief	Evidence how design team was briefed at inception
Constraints diagram/statement indicating strengths weaknesses, opportunities and Threats (SWOT analysis)	*Items to consider as appropriate
Site photography, context and materials analysis	
Sketch layouts/3D illustrations as appropriate.	See Appendix 2 (Part 1) "Documents to be submitted at Concept and Pre Planning stages". Show sufficient levels on site plans to demonstrate Lifetime Homes (LTH) compliance.
Structure and building survey reports (Existing buildings only)	Demonstrate building is suitable and economic.
Other	Additional documents to support proposals where necessary
Explanation of proposals for sustainability, Modern Methods of Construction, low carbon design and Energy Performance Rating	Within submission form

*Items to consider within SWOT

- a. Accessibility and inclusivity
- b. Amenities

- c. Conservation
- d. Context
- e. Environment and noise
- f. Flood risk and drainage (SUDS)
- g. Flora and Fauna
- h. Ground conditions
- i. Highways
- j. Land Registry Title, ownership, rights of way and other Legals
- k. Orientation and views
- l. Risk assessments and CDM
- m. Secured by Design
- n. Services
- o. Sustainability
- p. Topography

Pre Planning

Document	Scale	Notes
Existing Site/topography	1:500	
Site location plan	1:1250	Show site in relation to surroundings (buildings, roads etc), clearly showing boundary in red line outline
Proposed Site Plan	1:500 Min	Show homes in relation to gardens, parking, open space, steps/ramps bin storage etc. Indicate surface finishes and fencing etc. Show sufficient levels to demonstrate Lifetime Homes (LTH) compliance. Clearly indicate house types.
Proposed site sections		If necessary to show compliance
Landscape plan	1:500	Indicate landscaping proposals (planting schedule and hard landscaping)
Home layout plans	1:50	Demonstrate suitability of home for everyday living - include furniture layouts

Elevations and illustrations developed since Concept stage	1:100	Indicate finishes palette
Sections	1:100	
Other		Additional documents to support proposals where necessary

Appendix 5 — Review File Information

All RSLs and LAs must maintain a scheme Review File for all schemes.

Welsh Government requirements for the content of the Review File are:

1 Design and Compliance

- 1.01 Design changes arising after Welsh Government Pre-planning stage approval
- 1.02 Details of Modern Methods of Construction (MMC) used in the project
- 1.03 Details of any renewable energy systems and energy storage used in the project
- 1.04 Details of heating and hot water systems used in the project, including details of fuels used
- 1.05 Practical Completion Certificate and Final Certificate
- 1.06 Building Regulations Completion Certificate
- 1.07 Energy Performance Certificates
- 1.08 Secured By Design Gold Award Certificate
- 1.09 Gigabit ready broadband connectivity
- 1.10 As-built general arrangement drawings
- 1.11 Details of any changes during construction and impact on design
- 1.12 Evidence of CDM Health and Safety File provided at completion
- 1.13 Specific items requested at Pre-planning Stage Technical Review for inclusion in the Review File
- 1.14 Evidence of tenant and design team feedback which would be of value to future schemes

2 Value for Money

- 2.01 Choice of Procurement route
- 2.02 Tender report
- 2.03 Report on negotiation
- 2.04 Package deal rationale and Welsh Government approval
- 2.05 Cost analysis pro formas (Welsh Government supplied)
- 2.06 Construction costs
- 2.07 List of abnormal/additional cost
- 2.08 Extra over costs of SuDS
- 2.09 Explanation for any design stage cost movement – between estimate to agreed contract sum
- 2.10 Explanation for any cost movement during construction

3 Grant Supporting Documentation

- 3.01 Original valuation report and updates where applicable
- 3.02 Original solicitors' certificate of title
- 3.03 Planning Permission
- 3.04 SuDS Approving Body (SAB) Approval
- 3.05 Building Contract details
- 3.06 Photographic Evidence of Site Signage Acknowledging Welsh Government Involvement with the Scheme
- 3.07 Rent Amounts

The following explanatory guidance is provided to assist RSLs and LAs in the development of the Review File throughout the procurement of the scheme.

1 Design and Compliance

Information Required	Guidance
<p>1.01 Report any design changes arising from the Planning application after Welsh Government Pre-planning stage approval and not previously reported to Welsh Government. Include drawings and supporting documents where required.</p>	<p>Where design changes have arisen, please include in the Review File a Schedule of design changes together with reasons for the changes. Include drawings where considered relevant. Also see “Explanation for any design stage cost movement” within the Value for Money section, where costs for design changes are to be identified.</p> <p>Note – significant design changes would have required re-submission for Pre-planning stage approval in accordance with Pre-Planning Notes (second bullet) on page 10 of SHG Guidance.</p>
<p>1.02 Details of Modern Methods of Construction (MMC) used in the project</p>	<p>Within the Review File confirm MMC category (C1, C2, C3, etc) as declared at Pre-planning stage or explain any changes. Provide evidence of the systems used (e.g., photography, certification).</p>
<p>1.03 Details of any renewable energy systems and energy storage used in the project</p>	<p>Within the Review File confirm renewable energy and storage systems as declared at Pre-planning stage or explain any changes.</p> <p>Provide evidence of systems used (e.g., photography, certification).</p>
<p>1.04 Details of heating and hot water systems used in the project, including details of fuels used.</p>	<p>Within the Review File confirm low carbon heating systems and technologies as declared at Pre-planning stage or explain changes.</p> <p>Provide evidence of systems used (e.g., photography, certification).</p>
<p>1.05 Practical Completion Certificate and Final Certificate</p>	<p>A copy of Practical Completion certificate and a copy of Final Certificate should be saved to the Review File. If the Final Certificate is not available at the time of the Post Completion Review please provide explanation within the Review File.</p>

1.06 Building Regulations Completion Certificate	Include a full copy in the Review File.	
1.07 Energy Performance Certificates	A copy of the certificate for each dwelling should be saved to the Review File. Also provide evidence of minimum fabric standards as declared at Pre-planning stage being used to achieve EPC rating. If an alternative approach has been chosen to demonstrate that the energy demand for each dwelling is reduced, a copy of the independent certification for the alternative approach should be saved to the Review File. Additionally include evidence of the EPC rating which would be achieved by following your chosen approach.	
1.08 Secured by Design Gold Award Certificate	Include a full copy in the Review File.	
1.09 Gigabit ready broadband connectivity	Within the Review File include details of the gigabit ready broadband installation provided to all homes.	
1.10 As-built general arrangement drawings	The following drawings are required for Welsh Government Post Completion Review. Whilst the RSL or LA may save additional drawings to the Review File if required, it is recommended that drawings be limited to the following list. All other as-built drawings should be included in the Building Manual and/or the Health & Safety File as supplied by the Principal Contractor and/or the Principal Designer at completion of the scheme.	
	A schedule of drawings listing drawings which have been provided within the Review File should identify the drawing number, drawing title and revision suffix for each drawing.	
	Drawing	Scale
	Site Layout – to include levels and landscaping (more than one drawing may be included if necessary)	1:500
	SuDS general arrangement site plan	1:500
	Home layout plans for each house type	1:50

	Schedule of drawings which have been included in the Review File	N/A
1.11 Details of any changes during construction and impact on design	Where design changes have arisen, please include in the Review File a Schedule of design changes or client variations and reasons for the changes. Include drawings where considered relevant. Also see "Explanation for any cost movement during construction" within the Value for Money section, where costs for design changes are to be identified.	
1.12 Evidence of CDM Health and Safety File provided at completion.	Within the review File provide confirmation that the Client, as CDM duty holder, has possession of an approved H&S File.	
1.13 Specific items requested at Pre-planning Stage Technical Review for inclusion in the Review File	Include details in the Review File as appropriate.	
1.14 Evidence of tenant and design team feedback which would be of value to future schemes	Include details in the Review File as appropriate.	

2 Value for Money

Information Required	Guidance
2.01 Choice of Procurement route	Within the Review File identify the procurement route confirmed to Welsh Government at Pre-planning stage. If necessary explain any change to the procurement route advised at Pre-planning stage.
2.02 Tender report	Include a copy of the full tender report within the Review File.
2.03 Report on negotiation	Include a copy of the full report on negotiation within the Review File.
2.04 Package deal rationale and Welsh Government approval	Include details in the Review File as appropriate, together with a copy of any relevant correspondence.
2.05 Cost analysis pro formas (Welsh Government supplied)	Include a completed copy of the Contract Sum Analysis form as supplied by Welsh Government within the Review File.

2.06 Construction costs	Within the Review File confirm construction costs at each of the following stages: Concept stage Pre-planning stage Construction stage Final construction costs
2.07 List of abnormal/additional cost	Within the Review File confirm construction costs at each of the following stages: Concept stage Pre-planning stage Construction stage Final construction costs
2.08 Extra over costs of SuDS	Within the Review File confirm construction costs at each of the following stages: Concept stage Pre-planning stage Construction stage Final construction costs
2.09 Explanation for any design stage cost movement – between estimate to agreed contract sum	Include details in the Review File as appropriate.
2.10 Explanation for any cost movement during construction	Include details in the Review File as appropriate.

3 Grant Supporting Documentation

Information Required	Guidance
3.01 Original valuation report and updates where applicable	Include a full copy in the Review File.
3.02 Original solicitors certificate of title	Include a full copy in the Review File.
3.03 Planning Permission	Include a full copy in the Review File.
3.04 SuDS Approving Body (SAB) Approval	Include a full copy in the Review File.

3.05 Building Contract details	Include a copy of the Agreement, Recitals, Articles, Contract Particulars and Execution (signature) pages from the form of building contract in the Review File.
3.06 Photographic Evidence of Site Signage Acknowledging Welsh Government Involvement with the Scheme	The Welsh Government logo must have equal prominence to any other partner logo. Link to guidance: https://gov.wales/welsh-government-logo-guidance
3.07 Rent Amounts	Include details of rent amounts and Board approval for the scheme in the Review File.
3.08 Project bank accounts	Include details on PBA operation and prompt payment through the construction supply chain (for all contracts in excess of £2m)
3.09 Social Value and Community Benefits	Include confirmation that information has been submitted to capture community benefits as a result of the project